



BROOKFIELD PUBLIC SCHOOLS

PUBLIC FORUM #1

EXISTING CONDITIONS ANALYSIS

Tecton
ARCHITECTS

03.27.18

BROOKFIELD PUBLIC SCHOOLS / AGENDA

1. INTRODUCTIONS
2. OUTLINE GOALS OF THE PROJECT
3. EXISTING CONDITIONS – INITIAL FINDINGS
4. WORKSHOP & COMMUNITY INPUT
5. NEXT STEPS, Q & A

INTRODUCTIONS / A COLLABORATIVE APPROACH

STRATEGIC FACILITIES PLANNING COMMITTEE

Ms. Eve Sturdevant

Committee Chairperson
Board of Education Member

Dr. John W. Barile

Superintendent of Schools

Mr. Paul Checco

Municipal Building Committee
Chairperson

Mr. Josh Flowers

Municipal Building Committee
Member

Mrs. Sue Slater

Board of Selectmen

Mrs. Christina Zimmerman

PTO President

Mrs. Eileen Koch

Board of Finance Member

Mrs. Joy Greenstein

Board of Education Member

Mrs. Debbie Brooks

Board of Education Member

Mr. Paul Loftus

Community Member

CONSULTANT TEAM

TECTON ARCHITECTS

Architecture & Programming
Jeff Wyszynski, AIA
Stephen Melingonis, AIA

MILONE & MACBROOM

Site, Civil, Landscape, Planning
Ryan Chmielewski, LA

CES

MEP Engineering
Derek Bride

SZEWCAK ASSOCIATES

Structural Engineering
Peter Celella, PE

GOALS OF THE PROJECT / MASTER PLAN FOR THE FUTURE

- Analysis of Existing Conditions & Educational Needs
- Engage community & explore responsive solutions
- Sustainable approach to address facility and educational needs
- Combination of Capital, Maintenance and Life Safety projects
- Long Range Master Plan for All Schools

COMMUNICATION / KEEPING THE LINES OPEN

- Strategic Facilities Committee Meeting Dates
 - (4/4 @ 6:30 p.m., 5/1 @ 6 p.m., 5/22 @ 6 p.m.)
 - Pocono Road, 2nd floor conference room
- Upcoming Forums
 - June 7th - Conceptual Design Review – Options for the Community
 - Date TBD- 10 Year Master Plan & First Phase
- Updates – go to our Website:
<https://sites.google.com/a/brookfieldps.org/bpssfc/>
- Join Us on Facebook: <https://www.facebook.com/bpssfc>

EXISTING CONDITIONS

INITIAL FINDINGS

CURRENT STATUS / WORK COMPLETED SO FAR

- Collection of existing conditions
- Analysis of physical deficiencies
- Proposed Recommendations to remediate deficiencies
- Programmatic Discussions
 - Stakeholder interviews
 - Develop current and future needs
- Initial State Reimbursement Analysis – Options & Impacts

BROOKFIELD SCHOOLS / FACILITIES OVERVIEW

AVERAGE BUILDING AGE: 60 YEARS | AVERAGE ADDITION AGE: 17 YEARS

BUILDING	YEAR BUILT	CURRENT AGE	K-12 ENROLLMENT
CENTER ELEMENTARY	1937, 1997 Addition	80, 20	359
HUCKLEBERRY HILL ELEMENTARY	1960, 1993 Addition	57, 24	537
WHISCONIER MIDDLE	1970, 2001 Addition	47, 16	918
BROOKFIELD HIGH	1959, 2006 Renovation	58, 11	865

“No building has ever been fully renovated or modernized since being built.”

-Brookfield Public Schools RFP

FORMAT / EXISTING CONDITIONS

On site walkthrough, general observations and analysis of conditions

1. Site – overall layout, accessibility, code, useful life condition, safety/security, parking, sidewalks, lighting, drainage, utilities, and fields
2. Structure – type, code, useful life, condition, identification of specific concerns
3. Architecture – code, accessibility, life safety, useful life, condition, safety/security
 1. Exterior - roofs, walls, soffits, windows, doors, and features of the building
 2. Interior – finishes (doors, walls, ceilings, millwork, fixtures, lighting)
4. Building Systems Survey – code, life safety, useful life of equipment, comfort & control
 1. Plumbing
 2. Mechanical
 3. Electrical
 4. Fire Protection & Alarms

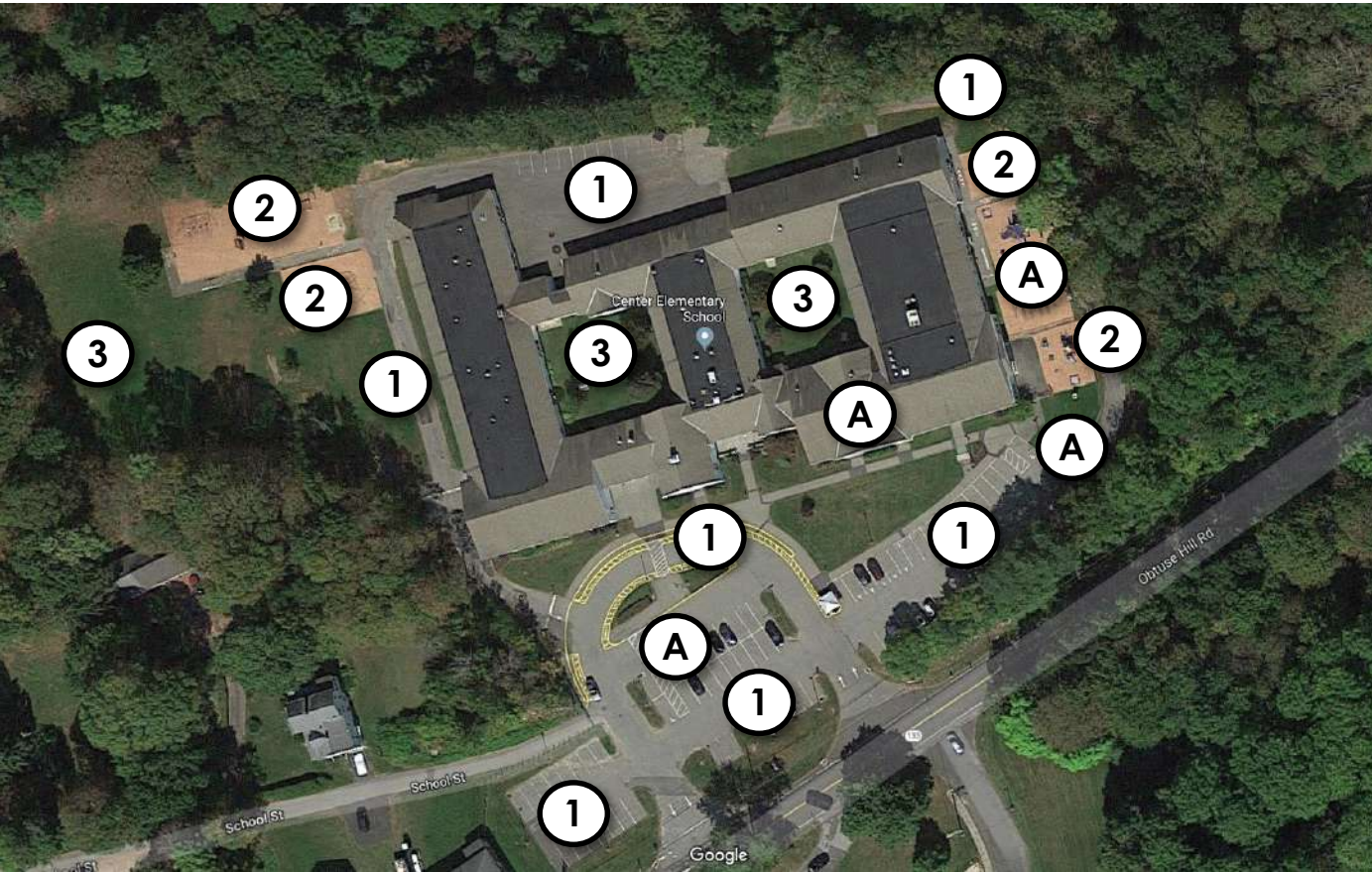
FORMAT / EXISTING CONDITIONS

Identification & Prioritization (Scale 1 to 5)

A ranking for each item was given from 1-5 to indicate the priority of attention required. A ranking of 1 indicates a material requiring prompt attention, while a ranking of 5 indicates the material is in good condition and does not require maintenance or replacement. Accessibility compliance is identified as (A)



EXISTING CONDITIONS / CENTER ELEMENTARY SCHOOL



SITE/CIVIL

1. Roadways/Parking
2. Walks
3. Paved Play
4. Grass Play
5. Playgrounds
6. Storm Drainage
7. Lighting

BUILDING	YEAR BUILT	CURRENT AGE	K-12 ENROLLMENT
CENTER ELEMENTARY	1937, 1997 Addition	80, 20	359

EXISTING CONDITIONS / CENTER ELEMENTARY SCHOOL

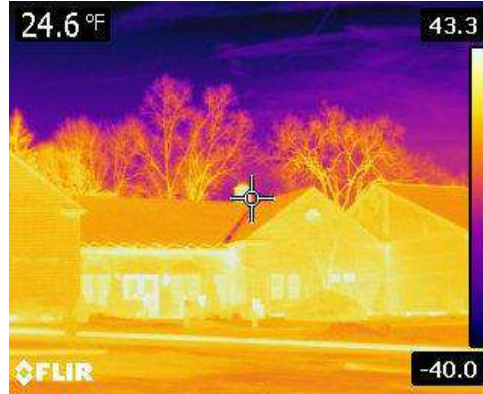
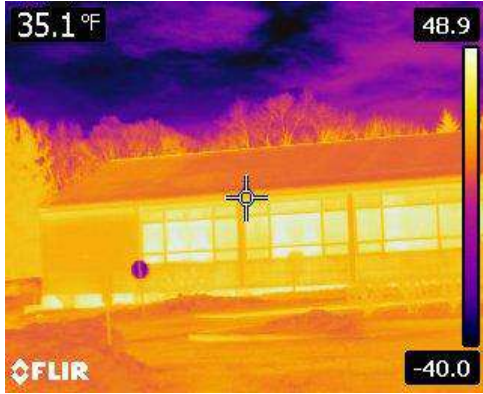


STRUCTURE

1. WOOD / STEEL
2. SPALLING CONCRETE
3. WATER INFILTRATION
4. MINOR SLAB CRACKS

BUILDING	YEAR BUILT	CURRENT AGE	K-12 ENROLLMENT
CENTER ELEMENTARY	1937, 1997 Addition	80, 20	359

EXISTING CONDITIONS / CENTER ELEMENTARY SCHOOL



ARCHITECTURE

1. EXTERIOR
2. INTERIOR

BUILDING SYSTEMS

1. FIRE PROTECTION, ALARMS, SECURITY
2. PLUMBING
3. MECHANICAL
4. ELECTRICAL



BUILDING	YEAR BUILT	CURRENT AGE	K-12 ENROLLMENT
CENTER ELEMENTARY	1937, 1997 Addition	80, 20	359

EXISTING CONDITIONS / CENTER ELEMENTARY SCHOOL



SUMMARY

- a) PAVEMENT CONDITION AND ACCESSIBILITY
- b) PLAYGROUNDS AND EMERGENCY ACCESS @ PERIMETER
- c) STRUCTURE DIFFICULT TO EXPAND BY CODE DUE TO TYPE (WOOD FRAME)
- d) PORTIONS OF EXTERIOR ENVELOPE ARE IN POOR CONDITION – WINDOWS/WALLS
- e) NOT ENERGY EFFICIENT (100% EXHAUST)
- f) ALL BUILDING SYSTEMS PAST THE END OF THEIR EXPECTED USEFUL LIFE

EXISTING CONDITIONS / HUCKLEBERRY HILL ELEMENTARY



SITE/CIVIL

1. ROADWAYS/PARKING
2. WALKS
3. PAVED PLAY
4. GRASS FIELDS
5. SKINNED INFIELDS
6. PLAYGROUNDS
7. OTHER:
GARDEN/OUTDOOR
CLASSROOM
8. STORM DRAINAGE
9. LIGHTING

BUILDING	YEAR BUILT	CURRENT AGE	K-12 ENROLLMENT
HUCKLEBERRY HILL ELEMENTARY	1960, 1993 Addition	57, 24	537

EXISTING CONDITIONS / HUCKLEBERRY HILL ELEMENTARY

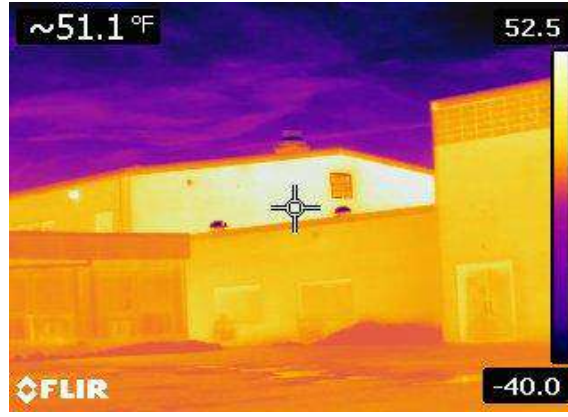


STRUCTURE

1. STEEL, OPEN WEB JOISTS & MTL. DECK CONCRETE SLAB
2. TECTUM ROOF PANELS
3. FAIR CONDITION OVERALL
NO SIGNIFICANT
OBSERVATIONS

BUILDING	YEAR BUILT	CURRENT AGE	K-12 ENROLLMENT
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EXISTING CONDITIONS / HUCKLEBERRY HILL ELEMENTARY



ARCHITECTURE

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2. INTERIOR

BUILDING SYSTEMS

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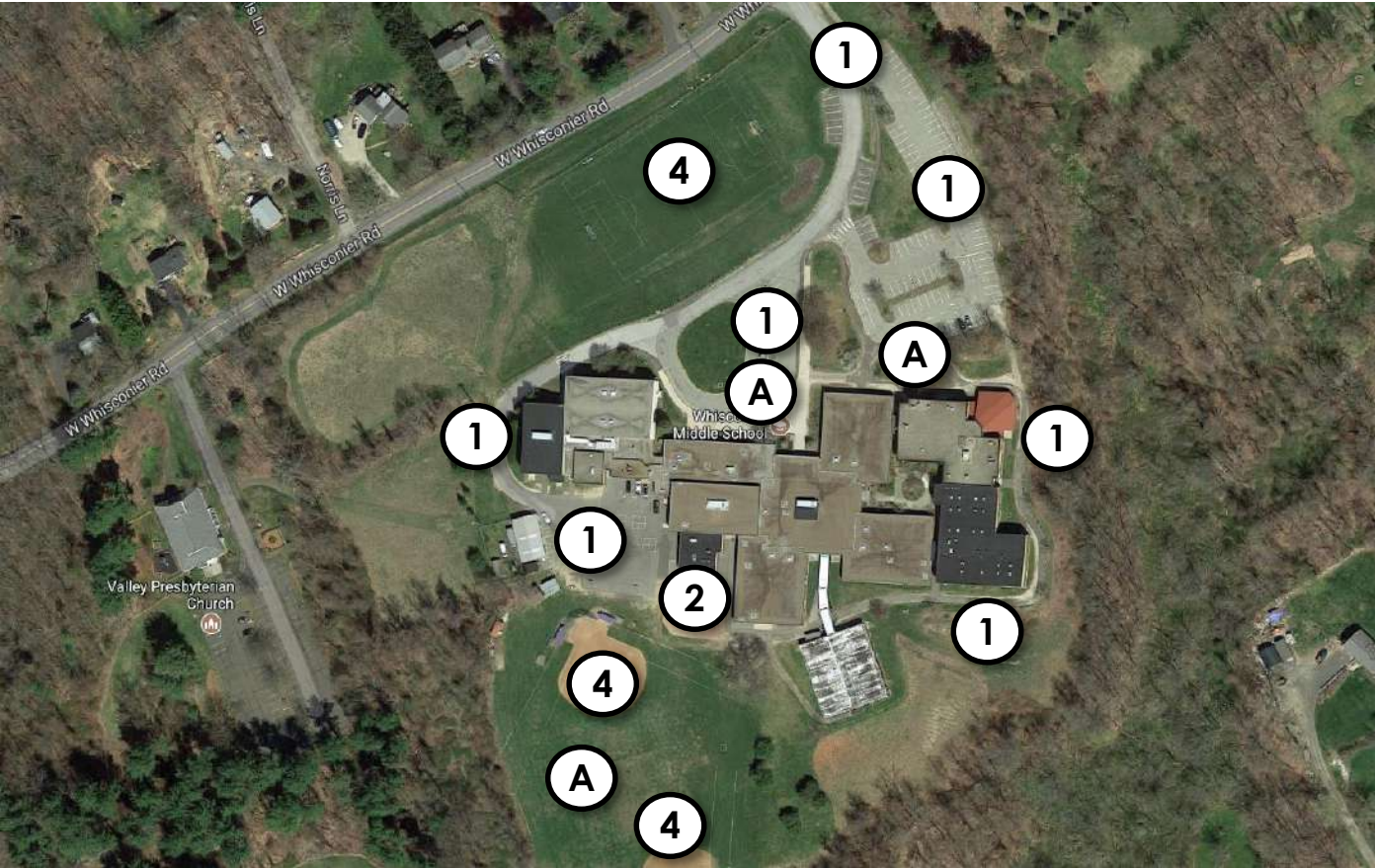
EXISTING CONDITIONS / HUCKLEBERRY HILL ELEMENTARY



SUMMARY

- a) PAVEMENT CONDITION AND ACCESSIBILITY
- b) PLAYGROUNDS AND IMPROVE SITE DRAINAGE
- c) BUILDING NOT FULLY ACCESSIBLE
- d) SOME FINISHES REACHED END OF USEFUL LIFE (TOILETS)
- e) NOT ENERGY EFFICIENT (ALL ELECTRIC HEAT)
- f) CODE COMPLIANT AT TIME OF CONSTRUCTION, BUT NO SPRINKLER SYSTEMS

EXISTING CONDITIONS / WHISCONIER MIDDLE SCHOOL



SITE/CIVIL

1. ROADWAYS/PARKING
2. WALKS
3. PAVED PLAY
4. GRASS FIELDS
5. SKINNED INFIELDS
6. PLAYGROUND
7. STORM DRAINAGE
8. LIGHTING

BUILDING	YEAR BUILT	CURRENT AGE	K-12 ENROLLMENT
WHISCONIER MIDDLE	1970, 2001 Addition	47, 16	918

EXISTING CONDITIONS / WHISCONIER MIDDLE SCHOOL

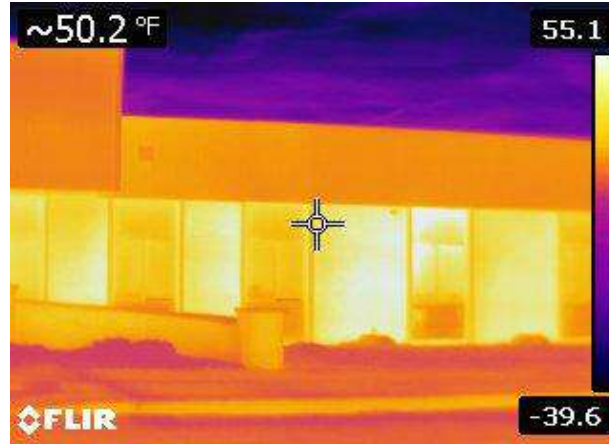


STRUCTURE

1. STEEL BEAMS, METAL DECK, CONCRETE SLAB
2. DETERIORATION OF SOUTH FAÇADE AT GYM - MOISTURE
3. REPOINTING, FLASHING WEEPS TO EXTEND LONGEVITY

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EXISTING CONDITIONS / WHISCONIER MIDDLE SCHOOL



ARCHITECTURE

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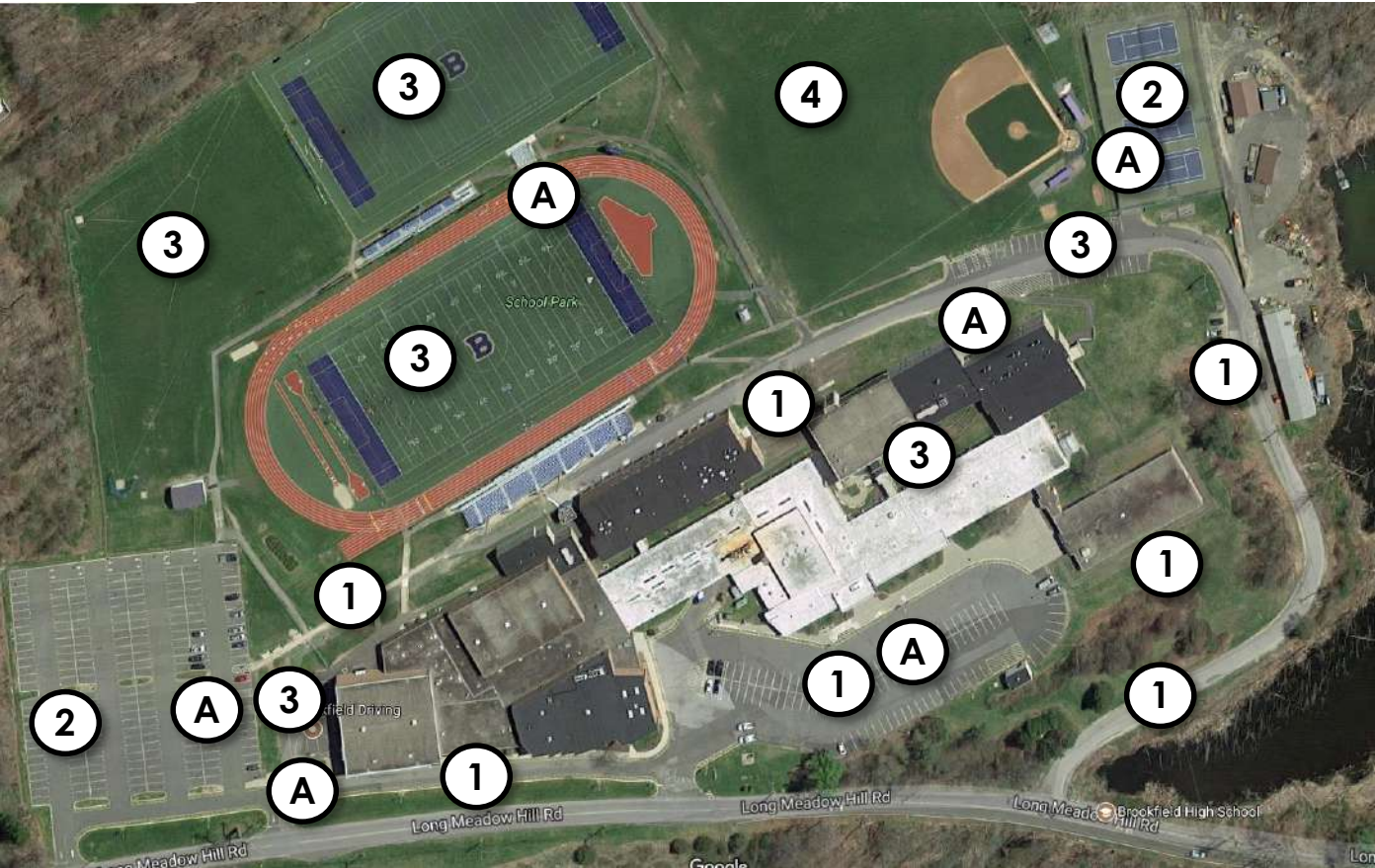
EXISTING CONDITIONS / WHISCONIER MIDDLE SCHOOL



SUMMARY

- a) PAVEMENT CONDITION AND ACCESSIBILITY
- b) LACKS EMERGENCY ACCESS AT PERIMETER
- c) FAIR CONDITION, ISOLATED ENVELOP CONCERNS AT GYM – LONGEVITY OF MATERIALS
- d) MULTIPLE ADDITIONS, FRAGMENTED BUILDING – MANY BUILDING JOINTS, DISSIMILAR AESTHETIC
- e) BUILDING SYSTEMS OF VARIOUS AGES, ALL AT OR NEAR END OF USEFUL LIFE
- f) FLOURESCENT LIGHTING, NEEDS SIGNIFICANT REPAIR

EXISTING CONDITIONS / BROOKFIELD HIGH SCHOOL



SITE/CIVIL

1. ROADWAYS/PARKING
2. WALKS
3. BASKETBALL COURT
4. TENNIS COURTS
5. GRASS FIELDS
6. SKINNED INFIELDS
7. SYNTHETIC TURF
8. RUNNING TRACK
9. COURTYARDS
10. STORM DRAINAGE
11. LIGHTING

BUILDING	YEAR BUILT	CURRENT AGE	K-12 ENROLLMENT
BROOKFIELD HIGH	1959, 2006 Renovation	58, 11	865

EXISTING CONDITIONS / BROOKFIELD HIGH SCHOOL



STRUCTURE

1. STEEL, OPEN WEB JOISTS, CAST IN PLACE
2. SOME AREAS OF DETERIORATION OF CAST IN PLACE - SPALLING



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EXISTING CONDITIONS / BROOKFIELD HIGH SCHOOL



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EXISTING CONDITIONS / BROOKFIELD HIGH SCHOOL



SUMMARY

- a) PAVEMENT CONDITION AND ACCESSIBILITY
- b) TENNIS COURT EROSION & SETTLING BEHIND SCHOOL
- c) FAIR CONDITION OF BUILDING ENVELOP, MINOR CONCERNS OBSERVED
- d) SOME FINISHES REACHED END OF LIFE (BOYS SHOWERS) & SPRALLING INEFFICIENT LAYOUT
- e) BUILDING SYSTEMS OF VARIOUS AGES, ALL AT OR NEAR END OF USEFUL LIFE
- f) BUILDING PARTIALLY HEATED WITH STEAM, LACKS TEMP CONTROL

EXISTING CONDITIONS / CONCLUSIONS



WORKSHOP & PUBLIC INPUT

ASK, LISTEN, UNDERSTAND

PUBLIC WORKSHOP / ASK, LISTEN, UNDERSTAND

- Open platform to ask questions, express concerns, and voice opinions
- Beginning stages of this effort – the time is now
- Interactive & continuous process
- Responsive to entire community

Tonight - Discussion to identify concerns and need, group, then prioritize.

PUBLIC WORKSHOP / ASK, LISTEN, UNDERSTAND

- Why did you attend tonight?
- What is important to you?
- What do you see as a priority?
- What works well? What doesn't?
- What do you believe is the greatest need?
- Do you believe there is a need?
- If you could change one thing, what would it be?
- What would you change about previous projects?



Strategic Facilities Committee Survey

<http://tiny.cc/bps-sfc>



NEXT STEPS

NEXT STEPS / WHAT TO EXPECT

1. Summarize findings of condition study
2. Prioritize needs – Immediate, mid-range, long term
3. Develop options and conceptual designs (April – May)
4. Review options with community & state (Summer)
5. Finalize master plan & prioritize first project (Summer/Fall)
6. Public Awareness Sessions (Summer/Fall)
7. Fall Referendum (November 6th)

THANK YOU

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ARCHITECTS